Design Rationale Statement

Resident Background and Planned Development:

We have lived in the downtown heritage area neighborhood, with our three children, for 20 years, and on Maple Street for 15 years. We work downtown, own a business downtown, and commute by walking or biking to our businesses. We are enjoying this sustainable lifestyle and hope to continue living here but need to make some changes to our backyard. We are working with a local designer and architect to plan and design the backyard and garage.

We have started this development process of a new 2 bay enclosed garage, and pool for 2 main reasons. One was due to the increasing crime in our neighborhood and the need to better secure our vehicles, possessions, and feeling safe in our backyard.

Secondly by being able to replace our existing 1 bay 'open and aging' carport with a 2-bay enclosed garage, we can make room on the street for existing public parking, thereby aiding the city with increased public parking and by conforming with the zone for off-street parking. We currently have to park one car on the city street needing annual permits.

This development not only aids the city by bringing us into conformance with the RU1 zone for parking bylaw requirements, but also allows for more much needed downtown public parking. Many people use our street for downtown events at city park or simply going to the beach.

Variance Rationale:

We are asking for a south side yard set-back variance to be reduced to 1.0m from the regulation 1.5m, which will match our adjacent neighbor's set back variance previously approved to the south for his carriage house. Our current carport was built with a 1.0m set-back and we would like to use this existing footprint. The 0.5 m gain to our central backyard width will solve some critical site constraints that our proposed garage and pool creates.

On our narrow 50' wide city lot, we need our garage positioned as far south as we can to allow for enough garage width to accommodate our vehicles and storage, modest pool width of 10' and most importantly, the minimum required space of 10' provincial electrical set back between the north side of the garage and pool for pool mechanical. Given the shape of our lot and house position, this was the only feasible place for the pool mechanical shed.

Our current drawings that show the pool and garage with 1m side south side yard, give us "just" enough space to allow for the pool mechanical to be at the required 10' from the pool. With the proposed garage at 22'; wide and pool at 10' wide we have tried to be as pragmatic as we can for our garage and pool size to still achieve a successful result.

Lastly, 2 large shade trees unfortunately need to be removed in order to build a 2-bay garage. We wouldn't be on Maple Street if we didn't love trees, and we need to have enough space to replant enough trees around the garage and pool, to recreate the park like atmosphere we have enjoyed.

We really hope the city would see this development as a huge plus for the neighborhood, and as per letters from our neighbors, you'll see that there would be no resistance to our request for this 0.5m reduction on the side yard set-back which actually places it in the similar spot that our carport has been for 70 years. Given the rationale above, the conformity on our street, and the added value to our neighborhood, we feel this is a reasonable request for our backyard.

Thank you for your time and consideration,

Kevin and Melanie Bos

GENERAL CONSTRUCTION NOTES:

- 1. REFER TO "RESIDENTIAL CONSTRUCTION NOTES" ON THE FOUNDATION PLAN FOR ALL CONCRETE GENERAL FRAMING NOTES.
- 2. ALL FRAMING AND METHODS SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE.
- 3. SOLIDBACKING TO BE INSTALLED FOR ADEQUATE SUPPORT FOR TOWEL BARS, CURTAIN AND CLOSET RODS, SHELVING, AS WELL AS ANY SIMILAR FIXTURES.
- 4. GENERAL CONTRACTOR TO CONFIRM SNOW AND LIVE LOADS ARE DESIGNED FOR. SNOW LOADS SHOULD BE ADJUSTED TO REFLECT THE SLIDEOFF FACTOR, AS A FUNCTION OF ROOF PITCH. VERIFY WITH LOCAL CODES.

FRAMING NOTES:

- 1. FRAMER TO CONFIRM ALL PLUMBING, FIXTURES AND FIREPLACE ROUGH OPENINGS.
- 2. FRAMER TO PROVIDE PROPER BACKING FOR
- ALL FIXTURES AND SHELVING 3. FLOOR JOIST LAYOUT AS PER ENGINEER'S JOIST
- DRAWINGS, DETAILS & SPECIFICATIONS.
- 4. ROOF TRUSS LAYOUT AS PER ENGINEER'S JOIST DRAWINGS, DETAILS & SPECIFICATIONS.
- 5. ALL BEDROOM WINDOWS TO HAVE A MINIMUM
- VENT SIZE OF 24" x 36" FOR EGREES.
- 6. ROUGH OPENINGS FOR ALL SWING DOORS ADD 2 1/2" TO HEIGHT & 2" TO WIDTH
- 7. ROUGH OPENINGS FOR ALL BI-FOLDS
- ADD 1 3/4" TO HEIGHT & 1 1/4" IN WIDTH 8. ALLOW 4" ON EACH SIDE FOR OF DOORS FOR CASING
- 9. ALL HEADERS TO BE 2"x10" sS. DRY
- UNLESS NOTED OTHERWISE
- 10. CUT & TACK 2"x4" BACKING FOR ALL TUBS 11. JOIST HANGERS MUST BE SECURED PROPERLY - ALL HOLES MUST BE NAILED & BOTTOM HOLE

SCREWED AS PER TRUSS JOIST SPECIFICATIONS

- 12. CHIMNEY INSULATION BOX 14" HIGH c/w
- 2" CLEARANCE FOR CHIMNEY 13. ALL EXPOSED TRUSS HEELS MIN 7.5"
- 14. ALL LINTELS TO BE SPF BUILT UP 2 2"x10" UNLESS NOTED OTHERWISE
- 15. FRAME WALLS TO 24" o.c. INCLUDING FROST WALLS

INSULATION:

- A. PROVIDE R-24 BATT INSULATION IN 2"x6" STUD WALLS, R-13/15 IN 2"x4" STUD WALLS MIN., R-50 INSULATION IN FLAT CEILINGS, AND R-30 BLANKET INSULATION IN VAULTED CEILINGS. ALLOW 1 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE FOIL DOWN TO WARM SIDE.
- B. INSTALL SIDE WALL AND CEILING INSULATION IN CONT. BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING DUCTWORK, CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
- C. INSTALL 6 MIL POLY VAPOUR BARRIER AGAINST INSIDE OF ALL INSULATION. LAP JOINTS 4" MIN.
- D. FLOORS OVER UNHEATED SPACE SHALL HAVE R-26 FOIL BACK INSULATION BETWEEN JOISTS.
- E. HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-8 INSULATION.
- F. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN
- AND TRUSSES. FLASHING & VAPOUR BARRIER:
- A. INSTALL FLASHING AT ALL CHANGES IN HORIZONTAL EXTERIOR FINISHES AND OVER ALL UNPROTECTED EXTERIOR OPENINGS. CAULKING TO BE INSTALLED AROUND ALL UNFLASHED EXTERIOR OPENINGS.
- B. FLASHINGS TO BE INSTALLED AT ALL PENETRATIONS IN THE ROOF SYSTEM, AND AT ALL CHANGES IN THE ROOF PLANE.
- C. ALL JOINTS IN THE VAPOUR BARRIER TO BE LAPPED 4" AND OCCUR OVER FRAMING MEMBERS AND SEALED WITH CAULKING.

GENERAL NOTES:

ALL WORK TO BE DONE IN COMPLIANCE WITH THE CURRENT RESIDENTIAL STANDARDS OF THE LOCAL BUILDING CODE, CURRENT ELECTRICAL AND PLUMBING CODES, AS WELL AS ALL APPLICABLE LOCAL CODES AND BYLAWS. ALL WORK SHALL BE PERFORMED IN ALL RESPECTS TO GOOD

BUILDING PRACTICES. THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE SITE CONDITIONS; ALL MEASUREMENTS, GRADES AND LEVELS TO BE VERIFIED BEFORE COMMENCING WITH CONSTRUCTION. ANY DISCREPANCIES, OMISSIONS AND ERRORS SHALL BE REPORTED TO THE OWNER AND THE DESIGNER FOR CORRECTION WRITTEN DIMENSIONS TO BE FOLLOWED. "DO NOT SCALE THESE DRAWINGS."

ENGINEERED FLOOR AND ROOF SYSTEMS (JOISTS AND TRUSSES) ARE TO BE SEALED BY AN ENGINEER REGISTERED IN THE LOCAL AREA. SUBMIT ALL SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION FOR STRUCTURAL COMPONENTS BEFORE COMMENCING CONSTRUCTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE SITE, AND IS THE SOLE

RESPONSIBILITY OF THE OWNER, AND CONTRACTOR. THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE CONSTRUCTION DRAWINGS. HOWEVER WE ASSUME NO LIABILITY FOR ERRORS OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF ALL TRADES AND SUB-TRADES TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE COMMENCING WITH THEIR PORTION OF THE CONSTRUCTION, SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS, PLEASE ADVISE OUR OFFICE SO WE CAN MAKE THE NECESSARY CORRECTIONS.

Concrete Foundations:

ALL CAST IN PLACE CONCRETE TO HAVE A MIN. COMPRESSIVE STRENGTH OF 2900 PSI 20 Mpa AT 28 DAYS
CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED SOIL or COMPACTED SOIL TO AN ELEVATION BELOW FROST LEVEL FOOTINGS SHOULD BE DESIGNED FOR SOIL BEARING CAPABILITY BY THE CONTRACTOR OR OWNER. TO BE DETERMINED ON SITE. FOUNDATION WALS SHALL NOT BE BACKFILLED UNTIL CONCRETE OR MASONRY GROUT HAS REACHED THE 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING REQUIRED TO STABILIZE WALLSIS COMPLETELY & FULLED LL CONCRETE AND MASONRY FOUNDATION WALLS REQUIRED TO EXCEED THE LIMITS STATEDIN THE N.B.C. ARE REQUIRED TO BE DESIGNED BY AN ENGINEER.
ALL FOUNDATION WALLS 24" / 610 or HIGHER: TO HAVE ONE 10mm REBAR
3" FROM TOP OF WALL. CENTRE REINFORCING TO BE LAPPED A MIN. OF ALL FOOTINGS SHALL HAVE A MIN. TWO REBAR 10mn THESE REBARSARE TO BE LOCATED A CLEAR 3" SIDE AND BOTTOM GRADE LEVELS SHOWN IN THIS SET OF DRAWINGS ARE ESTIMATES ONLY ADJUSTMENTS AS REQUIRED ARE TO BE MADE ON SITE. RETAINING WALLS OUTSIDE OF FOUNDATION WALLS ARE BEYOND THE SCOPE OF THESE DRAWINGS, UNLESS NOTED OTHERWISE.

Depth of Foundations:

DEPTHS OF ALL FOUNDATION WALLS ARE TO BE AS N.B.C. STANDARDS AND IN CONJUNCTION WITH THE LOCAL BUILDING AUTHORITY.

Masonry above Grade: ALL ABOVE GRADE MASONRY IS TO CONFORM TO THE STANDARDS OF N.B.C. AND IN CONJUNCTION WITH THE LOCAL BUILDING AUTHORITY.

BRICK VENEER IS INSTALLED CONTERFLASHINGS SHALL BE INSTALLED TO A MIN. 8" / 200 UP FROM BUILDING FELTS & BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RACKED CLEAN, WEEPHOLES AT MIN. 24"/ 610 o.c.

Carpentry:

ALL FRAMING AND METHODS SHALL CONFORM TO THE REQUIREMENTS OF THE N.B.C. & THE B.C. BUILDING CODE FRAMING LUMBER SHALL BE No. 2 SPF or BETTER U.N.O. SPECIFIED FOR OTHER COMMON SPECIES REFER TO SPAN TABLES OF THE CURRENT EDITION OF THE B.C.BUILDING ALL BEAMS AND LINTEL SIZES ARE BASED ON No. 2 SPF. ARE TO BE 2x12 BUILT UP

U.N.O.
JOISTS ARE TO BE DOUBLED UP UNDER INTERIOR PARTITION WALLS
JOIST SHALL BE PLACED TO MIN. INTERFERENCE WITH PLUMBING & HEATING.
ALL HEADERS AND TRIMMERS ARE TO COMPLY WITH CURRENT N.B.C. AND THE B.C. BUILDING CODE.
THE BUILDER OR OWNER ARE TO OBTAIN NECESSARY CERTIFICATES FROM FLOOR
JOIST, ROOF TRUSS AND LVL / GLULAM MANUFACTURERS FOR STRUCTURAL COMPLIANCE
FLOOR AND ROOF JOIST SPANOF MORE THAN 7'-0' / 2 135 SHALL BE BRIDGED AT MID SPAN or AT 7'-0" / 2 135 o.c. MAX. UNLESS SHEATHED or STRAPPED ON BOTH SIDES WITH WOOD BRIDGING. SHALL BE 2x2 DIAG. TYPE WHENEVER POSSIBLE.
WHENEVER POSSIBLE IN CONTACT WITH CONCRETE SHALL BE DAMPROOFED WITH 45#

FELT or CLOSED CELL GASKET MATERIAL or PRESSURE TREATED WOOD USING A WATER BASE PERSERVATIVE or OTHER APPROVED METHOD.

INTERIOR FRAMING TO BE 4" / 100 CLEAR: BACK AND SIDES OF ANY FIREBOX AND 2" / 50 CLEAR OF BRICK CHIMNEYS. FRAME INTERIOR WALLS 1" / 25 CLEAR FROM EXTERIOR SILL PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" / 8 ANCHOR BOLTS @ MIN. 8'-0" / 2 400 or OTHER APPROVED METHOD. FLUSH FRAMED WOOD MEMBERS SHALL BE ANCHORED WITH RATED JOIST HANGERS DIMENSIONS ARE FROM EXTERIOR FACE OF STUD IN EXTERIOR WALLS AND CENTRE OF

Insulation - Ventilation: MINIUMUM INSULATION REQUIREMENTS ARE AS FOLLOWS

ROOF / CEILING: R-50 / RSI 7.75 WALLS: 2x4 R-14 / RSI 2.5 2x6 R-24 / RSI R-30 BLANKET INSULATION IN VAULTED

CEILINGS, ALLOW 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE FOIL DOWN TO INSTALL SIDE WALL AND CEILING INSULATION IN CONT. BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING DUCTWORK, CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
INSTALL 6 MIL POLY VAPOUR BARRIER AGAINST INSIDE OF ALL INSULATION. LAP JOINTS 18" MIN. FLOORS OVER UNHEATED SPACE SHALL HAVE R-26 FOIL BACK INSULATION BETWEEN JOISTS. HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN CEILING INSULATION MAY BE BATT TYPE OR LOOSE FILL

WALL & FLOOR INSULATION MUST BE BATT TYPE
WALLS & CEILINGBETWEEN RESIDENCE & ATTACHED GARAGE SHALL BE INSULATION REQUIREMENTS MAY VARY WITH HEATING SYSTEMS & LOCAL CONDITIONS ALL ROOF SPACES SHALL BE VENTED WITH SOFFIT, ROOF or GABLE VENTS. OR A COMBINATION. VENTING SHALL BE EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACES & SOFFITS.
ALL VENTILATION OF CRAWL SPACES SHALL CONFORM TO STANDARDS OF THE N.B.C. & B.C. BUILDING CODE.

Framing Notes: FRAMER TO CONFIRM ALL PLUMBING, FIXTURES AND FIREPLACE ROUGH OPENINGS

FRAMER TO PROVIDE PROPER BACKING FOR ALL FIXTURES AND SHELVING FLOOR JOIST LAYOUT AS PER ENGINEER'S JOIST DRAWINGS, DETAILS & SPECIFICATIONS ROOF TRUSS LAYOUT AS PER ENGINEER'S JOIST DRAWINGS, DETAILS & SPECIFICATIONS JOIST HANGERS MUST BE SECURED PROPERLY ALL HOLES MUST BE NAILED & BOTTOM HOLE SCREWED AS PER TRUSS JOIST SPECIFICATION ALL EXPOSED TRUSS HEELS MIN 7.5" UNLESS OTHERWISE NOTED

CHIMNEY INSULATION BOX 14" HIGH c/w 2" CLEARANCE FOR CHIMNEY

Stucco Projections:

STUCCO PROJECTIONS AND STUCCO CORBELLING TO BE CONSTRUCTED FROM 234 LUMBER ON FLAT W 3/4" PLYWOOD OVER CORNER BEAD W
WIRE MESH or STUCCO WIRE FINISH OVER ALL EXPOSED HORIZ. PROJECTIONS TO BE SLOPED A MIN. OF 15 DEGREES TO EXTERIOR FOR DRAINAGE.

Exterior Entry Doors:

ALL EXTERIOR ENTRY DOORS TO BE INSTALLED w/ THE FOLLOWING MIN. REQUIREMENTS
USE SOLID WOOD BLOCKING @ LOCK HEIGHT ON BOTH SIDES OF DOOR
JAMBS FOR TWO STUD SPACES - EXCEPT AT SIDE LIGHTS
DEADBOLT LOCK w/ A MIN. 25mm THROW HINGES SECURED TO DOOR w/ 25mm SCREWS & INTO FRAME w/ 3" / 75 MAIN ENTRANCE DOORS TO HAVE A DOOR VIEWER W/ 180 DEGREE VIEW ANGLE or DOORLIGHT or SIDELIGHT w/ A PORTION OF CLEAR GLAZING FOR SIDELIGHTS or WINDOWS WITHIN 36" / 915 OF AN EXTERIOR LOCKING DOOR SHALL HAVE SAFETY LAMINATED, TEMPERED OF WIRED GLAZING SLIDING TPE PATIO DOORS MUST HAVE A PIN TYPE LOCKING DEVICE

Lintels & Bearing Walls:

ALL LINTELS IN EXTERIOR FRAME WALLS TO BE 2x10 SPF U.N.O. ALL SUPPORT COLUMNS FOR GIRDER TRUSSES & BEAMS ARE O BEAR SECURELY TO THE FOUNDATION

Vapour Barrier & Moisture Retardation:

ALL JOINTS IN VAPOUR BARRIER TO BE OVERLAPPED MIN. 4" & TO OCCUR OVER A FRAMING MEMBER or SEALED w/ CAULKING ALL HOLES THROUGH VAPOUR BARRIER FIR WIRES, PIPING, DUCTS, ALL HOLES THROUGH VAPOUR BARRIER FIR WIRES, PIPING, DUCTS, ELECTRICAL BOXES, ETC. SHALL BE SEALED.

SILL PLATES TO BE PRESSURE TREATED or SEPERATED FROM CONC. BY DAMPPROOFING MATERIAL MOISTURE RESISTANT BACKING IS REQUIRED AROUND ALL BATHTUBS
AND SHOWERS WHERE CERAMIC TILE or PLASTIC SHEET IS TO BE INSTALL FLASHING AT ALL CHANGES IN HORIZONTAL

EXTERIOR OPENINGS, CAULKING TO BE INSTALLED AROUND ALL UNFLASHED EXTERIOR OPENINGS.
FLASHINGS TO BE INSTALLED AT ALL PENETRATIONS IN THE ROOF SYSTEM, AND AT ALL CHANGES IN THE ROOF PLANE. ALL JOINTS IN THE VAPOUR BARRIER TO BE LAPPED 4" AND OCCUR OVER FRAMING MEMBERS OR SEALED

Miscellaneous:

WITH CAULKING.

GENERAL CONTRACTOR TO CONFIRM SNOW AND LIVE LOADS ARE DESIGNED FOR. SNOW LOADS SHOULD BE ADJUSTED T REFLECT THE SLIDEOFF FACTOR, AS A FUNCTION OF ROOF PITCH. VERIFY WITH LOCAL CODES. NON HARDENING CAULKING COMPOUND SHALL BE APPLIED OVER & AROUND ALL EXTERIOR OPENINGS
ALL AREAS SHALL BE PROPERLY FLASHED WHERE A CHANGE IN EXTERIOR MATERIALS OCCUR or DISSIMILAR MATERIALS ARE USED. FLASHING REQUIRED OVER ALL EXTRIRO OPENINGS. LL SIDING or STUCCO TO BE A MIN. 8" ABOVE GRADE LEVEL CAST IRON CHIMNEY FLUE IS REQUIRED, TO BE APPROVED FOR ALL

FIREPLACES. ALL BALCONY RAILINGS TO BE 3'-6"IN HIEGHT w/ A MAX SPACING OF 4" / 100 BETWEEN ALL VERTICAL MEMBERS. MIN DISTANCE BETWEEN HORIZ. RAILS TO BE 32". TOP RAIL CAPALBILITY TO SUSTAIN OUTWARD HORIZ. LOAD OF

TO US / II CLOTHES CLOSETS SHALL HAVE AT LEAST ONE ROD & SHELF AND MIN. DEPTH OF 24" / 610 U.N.O. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES. BROOM CLOSTS SHALL HAVE AT LEAST ONE SHELF. SOLID BLOCKING TO BE INSTALLED FOR ADEQUATE SUPPORT FOR TOWEL BARS, CURTAIN AND CLOST RODS, SHELVING, ETC. ALL BEDROOM WINDOWS TO HAVE A MINIMUM

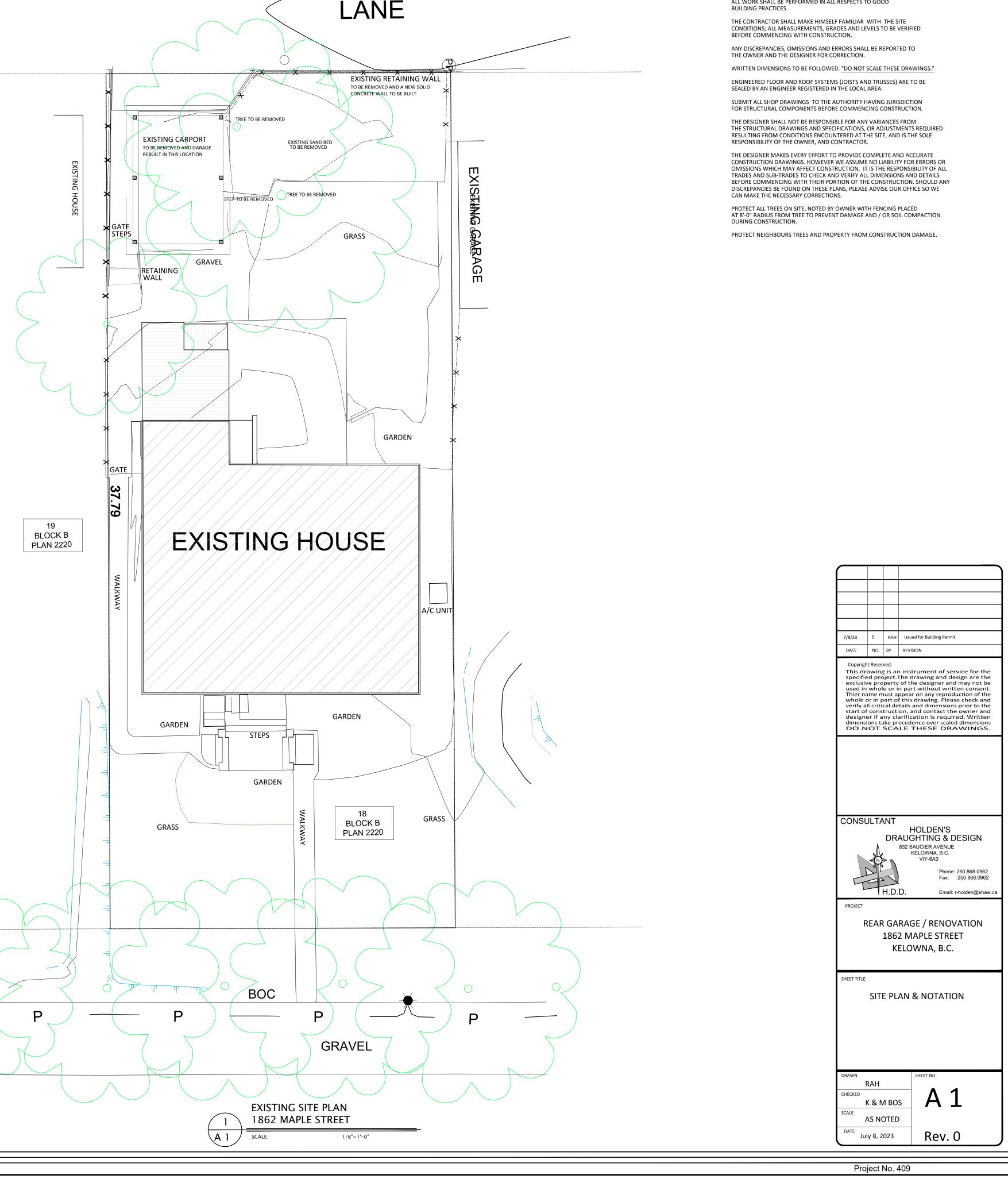
VENT SIZE OF 24" x 36" FOR EGREES. ROUGH OPENINGS FOR ALL SWING DOORS ADD 2 1/2" TO HEIGHT & 2" TO WIDTH ROUGH OPENINGS FOR ALL BI-FOLDS ADD 1 3/4" TO HEIGHT & 1 1/4" IN WIDTH ALLOW 4" ON EACH SIDE FOR OF DOORS FOR CASING CUT & TACK 2"x4" BACKING FOR ALL TUBS

DPVRIGHT

SEES DRAWINGS ARE THE EXCLUSIVE PROPERTY
FHOLDEN'S DRAUGHTING & DESIGN . ANY REPRODUCTI
WHOLE OR IN PART IS PROHIBITED WITHOUT THE
RITTEN CONSENT FROM HOLDEN'S DRAUGHTING & DES
holden@shaw.ca

ALL WORK TO BE DONE IN COMPLIANCE WITH THE CURRENT RESIDENTIAL STANDARDS OF THE LOCAL BUILDING CODE, CURRENT ELECTRICAL AND PLUMBING CODES, AS WELL AS ALL APPLICABLE LOCAL CODES AND BYLAWS.

ALL WORK SHALL BE PERFORMED IN ALL RESPECTS TO GOOD



CONCRETE SLAB ASSEMBLIES GARAGE FLOOR SLAB CONSTRUCTION ASSEMBLY 4" CONCRETE FLOOR SLAB (28 Mpa) REINFORCING w/ 10M REBAR @ 24" o.c. e.w. 6 Mil POLY VAPOUR BARRIER (U.V. RESISTANT)
6" CLEAN COMPACTED GRANULAR FILL

NOTES:
SAW CUT AT MIDPOINTS AND SLOPE FLOOR TOWARDS
CENTRE OF OVERHEAD DOOR OPENING
SLOPE GARAGE FLOOR DOWN 1/4" PER FOOT

WALL ASSEMBLIES

| WL | -1 | ABOVE GRADE WALL ASSEMBLY | · · · · · · · · · · · · · · · · · · · | |
|--|-------|--|---------------------------------------|-------|
| CONSTRUCTION ASSEMBLY | | RSI | R | |
| INTERIOR AIR FILM WALL PAINT AS PER OWNER | | | 0.12 | 0.68 |
| 1/2" | GYPSI | JM WALL BOARD (TAPED AND SANDED) | 0.08 | 0.61 |
| 6 Mil | POLY | VAPOUR BARRIER | 0.00 | 0.00 |
| 3" | RIGID | INSULATION | 3.24 | 18.6 |
| 6" | REINF | ORCED CONCRETE & FORM | 2.67 | 0.62 |
| 3" | RIGID | INSULATION | 3.24 | 18.6 |
| | BUILD | ING PAPER | 0.00 | 0.63 |
| | HARD | IEPLANK SIDING / CULTURED STONE | 0.11 | 0.17 |
| | EXTER | RIOR AIR FILM | 0.03 | |
| | | ECTIVE INSULATION VALUE: CTIVE THERMAL RESISTANCE | 9.49 | 39.91 |
| NOTES | | ASHING TO ALL WALL PENETRATIONS | | |

ROOF ASSEMBLIES

INSTALL FLASHING AND WEEP HOLES AS PER REQUIRED BY MANUFACTURER OF CULTURED STONE

| RF-1 | | TYPICAL ROOF CONSTRUCTION SCISSOR TRUSS 6:12 EXTERIOR / 3:12 INTERIOR | | |
|--|--------|--|-------|-------|
| CONSTRUCTION ASSEMBLY | | | RSI | R |
| | EXTER | RIOR AIR FILM | 0.12 | 0.68 |
| | ASPH | ALT SHINGLES | 0.08 | 0.45 |
| | BUILD | ING PAPER | 0.00 | 0.00 |
| 1/2" | PLYW | OOD ROOF SHEATHING | 0.00 | 0.00 |
| | H CLIF | PS AS REQUIRED | | |
| | COM | MON ROOF TRUSSES @ 24" o.c. | 1.96 | 11.13 |
| | (RAISI | ED HEEL) | | |
| R-50 | BLOW | 'N INSULATION | 8.82 | 50 |
| 6 Mil | POLY | VAPOUR BARRIER | 0.00 | 0.00 |
| 5/8" | GYPSI | JM WALL BOARD (TAPED & SANDED) | 0.08 | 0.45 |
| | INTER | IOR AIR FILM | 0.11 | 0.62 |
| EFFECTIVE RSI \ R VALUE OF ENTIRE ASSEMBLY | | | | |
| REQUIRED | | | 10.97 | 39.74 |
| PROVIDED | | | 11.17 | 63.33 |

FOUNDATION WALL ASSEMBLIES

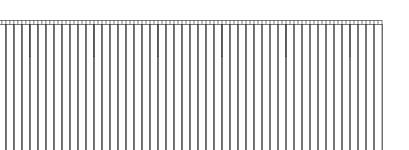
| FDN-1 | | TYPICAL FOUNDATION CONSTRUCTION | | |
|--------------------------|------------------------|---|------------------------------|------------------------------|
| CONSTRUCTION ASSEMBLY | | UCTION ASSEMBLY | RSI | R |
| EXTERIOR AIR FILM | | IOR AIR FILM | 0.12 | 0.68 |
| 6 Mil 3" 6" 3" | POLY RIGID REINF | PROOFING VAPOUR BARRIER INSULATION ORCED CONCRETE & FORM INSULATION | 0.00 3.24 2.67 3.24 | 0.00 18.6 0.62 18.6 |
| EFFECT REQUI PROVI | RED | I\R VALUE OF ENTIRE ASSEMBLY | 9.27 | 37.9 |

DOORS & WINDOWS FENESTRATION (WINDOWS) AND DOORS TO HAVE AM OVERALL THERMAL TRANSMITTANCE (U-VALUE) NOT GREATER THAN THE LISTED IN TABLE 9.36.27.A (B.C.B.C.) LATEST REVISION FOR THE APPLICATION HEATING DEGREE-DAY CATEGORY: CLIMATE ZONE 5 MAXIMUM U-VALUE TO BE 1.80 DOOR TO UNCONDITIONED GARAGE FROM DWELLING USI 2.6 (U-O.46) ATTIC ACCESS HATCH RSI 2.6 (R-14.8) FRONT DOORS USI 2.6 (U-O.46) USI 2.9 (U - 0.51) GLASS DOORS OVERHEAD GARAGE DOORS RSI 5.1 (R - 6.245) (WHEN GARAGE CONDITIONED)

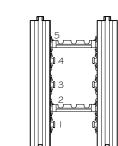
FLOOR JOISTS: Engineered joist manufacturer to design and submit joist package as shown. Provide eng. lintels, beams etc. as required for a complete job. Provide engineered drawings for erection and for the authority having jurisdiction. ROOF TRUSSES: Engineered truss manufacturer to design roof to hips, valleys, and ridges as shown. Provide eng. girders, beams etc. as required for a complete job. Provide engineered drawings for

NOTE:

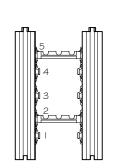
| FDN | FDN-1 TYPICAL FOUNDATION CONSTRUCTION | | | |
|--|---------------------------------------|---|------------------------------|------------------------------|
| CC | NSTR | UCTION ASSEMBLY | RSI | R |
| EXTERIOR AIR FILM | | | 0.12 | 0.68 |
| 6 Mil 3" 6" 3" | POLY RIGID REINF | PROOFING VAPOUR BARRIER INSULATION ORCED CONCRETE & FORM INSULATION | 0.00 3.24 2.67 3.24 | 0.00 18.6 0.62 18.6 |
| EFFECTIVE RSI \ R VALUE OF ENTIRE ASSEMBLY REQUIRED PROVIDED | | | 9.27 | 37.9 |



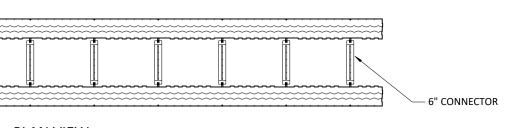
SIDE VIEW



END VIEW



ISO VIEW

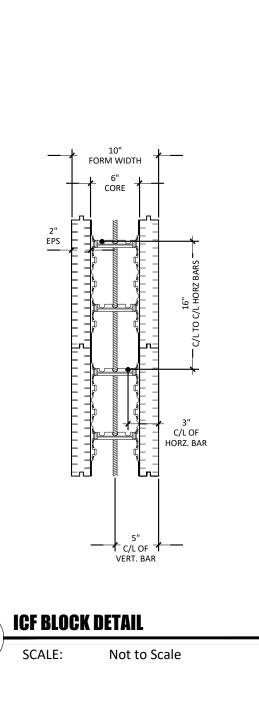


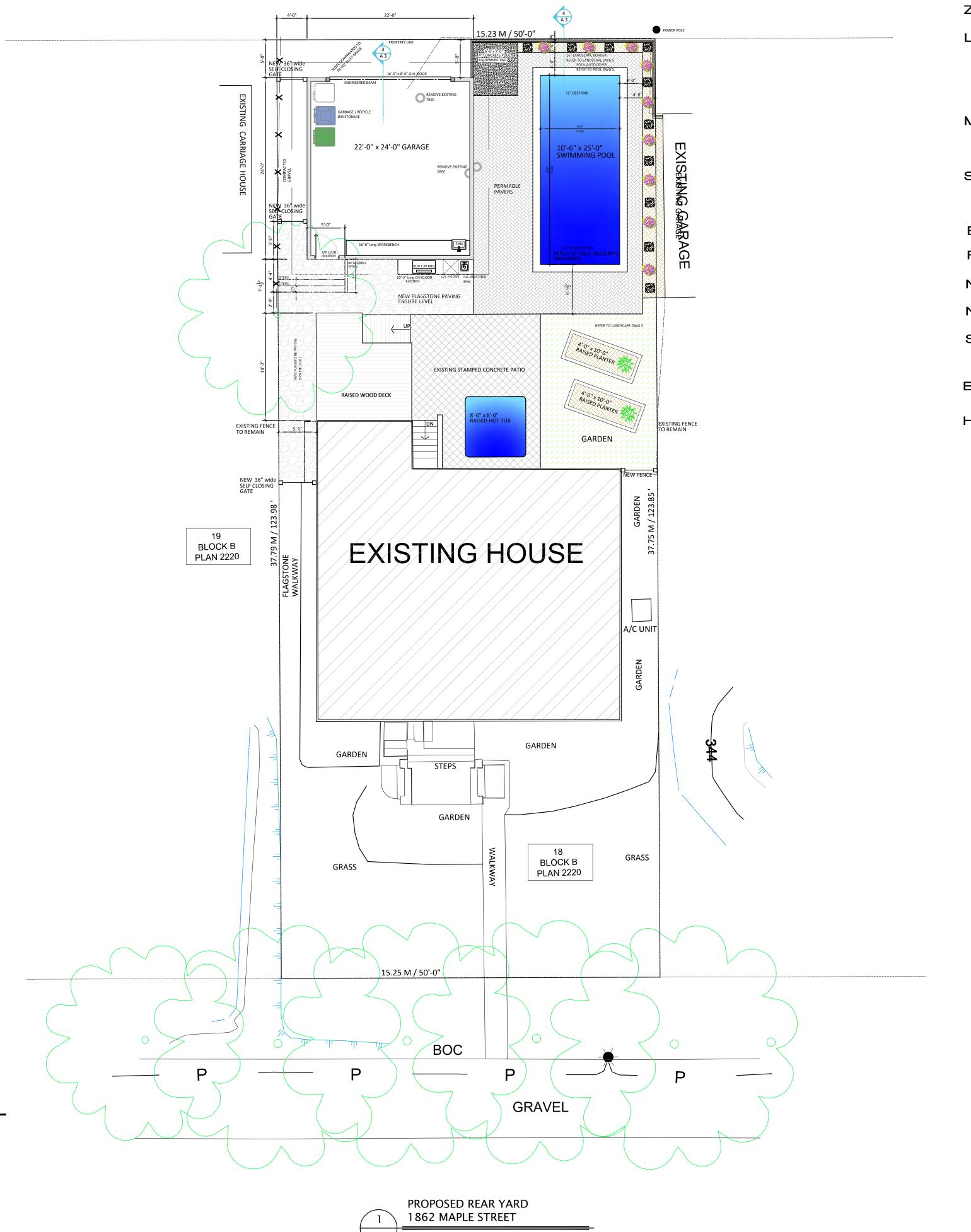
PLAN VIEW

BLOCK SHOWN HAS CONNECTORS ARRANGED FOR UPPER COURSES. FOR FIRST COURSE PLACE A ROW OF CONNECTORS AT THE 1, 3, AND 5 TEE LOCATIONS. WALL SURACE AREA = 5.33 AQ. FT. PER BLOCK CONCRETE VOLUME = 0.099 CU. YD. PER BLOCK



Not to Scale





LANE

SITE CALCULATIONS:

ZONING RU 1 LEGAL ADDRESS LOT 18 BLOCK B PLAN 2220

MUNICIPAL ADDRESS 1862 MAPLE STREET KELOWNA, B.C. V1Y-1H3

SITE AREA: 6,205 sq. ft./ 576.4 M2 0.142 Acres (ESTIMATE)

BUILDING AREA:

RESIDENCE / on grade: 1,130 sq. ft. / 104.9 M2 New Garage: 528 sq. ft. / 49.0 M2 New Swimming Pool 273 sq. ft. / 25.36 M2 Stamped Concrete 295 sq. ft. / 27.4 M2

Building SURFACE COVERAGE: 1,931 / 6,205 = 32.1 %

Hard SURFACE COVERAGE: 2,226 / 6.205 = 35.8 %

DATE NO. BY REVISION

This drawing is an instrument of service for the specified project. The drawing and design are the exclusive property of the designer and may not be used in whole or in part without written consent. Thier name must appear on any reproduction of the whole or in part of this drawing. Please check and world all critical details and dispensions prior to the verify all critical details and dimensions prior to the start of construction, and contact the owner and designer if any clarification is required. Written dimensions take precedence over scaled dimensions DO NOT SCALE THESE DRAWINGS.

CONSULTANT DRAUGHTING & DESIGN 832 SAUCIER AVENUE KELOWNA, B.C. VIY-6A3 Fax: 250.868.0962

REAR GARAGE / RENOVATION

Email: r-holden@shaw.ca

1862 MAPLE STREET KELOWNA, B.C.

PROPOSED REAR YARD

K & M BOS 1/8"=1'-0"

July 8, 2023

Rev. 0

Project No. 409

